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Ons verwysing / Our Ref .
Datum / Date
Telefoon / Telephone
Faks / Fax

C Alexander
-
Farm 716/3, Paarl
2008-05-05
021-808 8673
021-808 8651

REGISTERED POST

TV3 Planners & Architects
37 Market Street
Van Der Bijlhuis
Stellenbosch
7600

Sir/Madam

APPLICATION FOR APPROVAL OF THE ARCHITECTURAL GUIDELINES OF THE ROZENMEER RESIDENTIAL ESTATE ON FARM 716/3, PAARL DIVISION

Your application in the abovementioned regard, refers.

The Director: Planning and Environment at a recent meeting resolved as follows:

1. That **approval be granted** for the approval of the attached Architectural Guidelines of the Rozenmeer Residential Estate dated 30 August 2007, subject to the conditions contained in Annexure A.

In terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000, you may appeal to the Municipal Manager against the above Council decision (including any conditions imposed in case of approval) by giving written notice of such appeal, in which case you may upon request be given the opportunity to appear in person before the Appeal authority to state your case. A detailed motivated appeal with reasons therefore (and not only the intention to appeal), clearly stating in terms of which legislation it is made, as well as payment of the appeal fee to the amount of R250,80, should be directed to and received by the Municipal Manager, Stellenbosch Municipality, P O Box 17, Stellenbosch, 7599, or if hand delivered, to Town Planning, ground floor, municipal building, Plein Street, Stellenbosch, within 21 days of the date of registration at the Post office of this notification letter (with such registration day not included in the appeal period), provided where the last day for lodging an appeal falls either on a Sunday or public holiday, it shall be deemed to be the next working day thereafter.

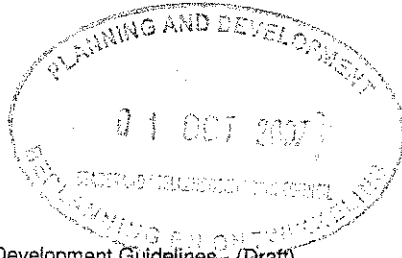
Please note, appellants are not permitted to canvass the Municipal Manager or members of Council's Appeals Committee before or after the matter is heard. Should no appeal be received within such appeal period, or upon conclusion of this appeal process, you (as well as any objectors, if any) will be advised of a further right of appeal in terms of Section 44 of Land Use Planning Ordinance, No 15 of 1985 in due course.

Kindly note the above Council decision is suspended and may therefore not be acted on until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully

A handwritten signature in black ink, appearing to be 'S. B.', written over a horizontal line.

for DIRECTOR : PLANNING AND ENVIRONMENT



"ANNEXURE C"
716/3
2

Project: P1825 Rozenmeer Estate Development Guidelines - (Draft)
Date: 30.08.2007

Revision - 02

ROZENMEER - Residential Estate

Portion ~~07~~ of Farm Groenfontein - Klappmuts

0.3

Architectural Guidelines

1. INTRODUCTION

1.1 THE REASONS FOR THE MANUAL

The general guidelines defined and described within this design manual constitutes the initial response to the special terrain characteristics and the subsequent expression thereof in an urbanized context. This will enable future property owners the added benefit of ensuring a consistently high neighbourhood quality. The application of the design manual will also sustain and enhance environmental quality as well as the visual integrity throughout the development.

1.2 BACKGROUND TO THE MANUAL

1.2.1 Status And Purpose Of The Manual:

In terms of Section 29 of the Land Use Planning Ordinance 1985 (Nr. 15 of 1985) this Manual this manual forms an integral part of the agreed conditions of subdivision, and has statutory authority. The property will be subject to the control of a Home Owners' Association.

An Architectural Assessing Committee will be commissioned to assess the design of all development on this property and will act as Aesthetic Assessors.

1.2.2 Required Documentation:

Submissions to the Architectural Assessors must be prepared by an Architect registered at the Institute of South African Architects, and must include the following minimum information:

- a. Site development plan at scale 1:100/1:200, showing sitework including yards, driveways, hard & soft landscaping, building lines, coverage, boundary walls
- b. Plans (scale 1:100)
 - detailed plans of all floors (including roof plan), all four elevations (including a full street elevation) and a minimum of two sections through the stand, clearly indicating the natural ground level (undeveloped), finished ground level (developed), bulk earthworks, cut and fill.
 - detail breakdown of building area's per floor with the total building area all in sqm.
 - Total site area in sqm, permissible coverage and actual coverage (total % building area under roof including covered stoeps, balconies, etc.) expressed as a percentage of the total area of the site
 - Total height of the building measured from the mean natural ground level to the ridge of the roof.
 - Detail plans, elevations and sections through all boundary walls and retaining structures, complete with specifications and finishes.
- c. Schedule of external finishes and colour schedule of external finishes.
- d. Complete door and window schedule with dimensions, material description and finishes.
- e. Any other additional relevant information / documentation required by the Architectural Assessors.

FILE NR:	PI 716/3 KI
SCAN NR:	077
COLLABORATOR NR:	114505

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1.2.3 PROCEDURES

A fixed amount non-refundable scrutiny fee, to the value of R2 000 (excluding VAT) will be payable for design approval, of which R 1 500 will be levied on 1st submission of the sketch design to the Architectural Committee.

The Architectural Committee will consider the drawings and will notify the owner's Architect (in writing) of the approval, or of any suggested amendments within four weeks after submission of the plans.

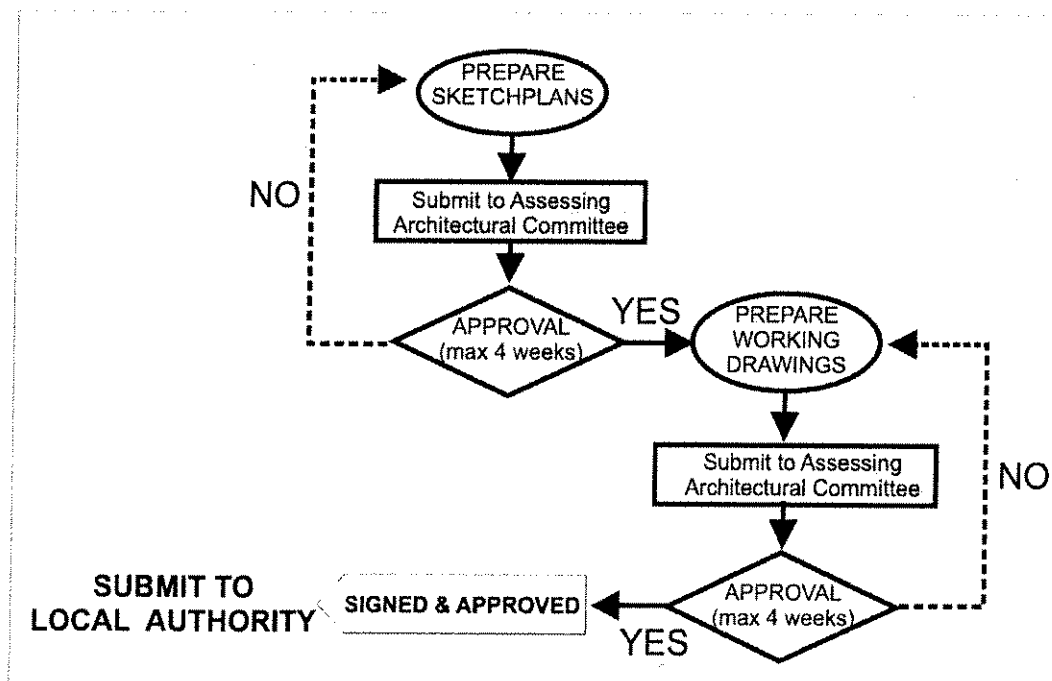
Should the Architectural Committee suggest any amendment of the design, the owner's Architect must re-submit amended design drawings to the Architectural Committee who shall confirm within four weeks of submission whether the amendments are accepted.

Before working drawings are submitted to the Local Authority, a copy of the working drawings must be submitted to the Architectural Committee for final approval.

The Architectural Committee will consider the drawings and will notify the owner's Architect of the approval, or of any suggested amendments within four weeks after submission of the plans. Working drawings are to meet the same requirements as the design drawings and the local authority will only accept plans signed by the Architectural Assessors.

The balance of the scrutiny fee is payable on the Final signing-off / approval by the Architectural Committee. No approvals will be issued before all outstanding accounts are settled.

Any additions and alterations to approved residences must be submitted to the HOA/Body Corporate. They may refer the additions to the Architectural Committee in which case a proportional scrutiny fee will be payable.



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1.3 CONCEPT STATEMENT

These architectural guidelines will establish the architectural character of the development. In all instances the Local Authority By-Laws and the National Building Regulations are applicable.

The following parameters and constraints were considered:

1.4 CONCEPTUAL DESIGN ANALYSIS

When formulating a design approach for the Rozenmeer Estate, the following must be addressed:

1.4.1 Natural Context:

The Estate is located within an agricultural and wine producing area bordered by an established residential suburb, smallholdings and sizable waterbody and therefore ecological constraints must come into play within the development.

Contextual requirements such as design of the roofscape and colour of the facades so as to best integrate the built forms within the natural topography, agricultural landscape and the mountain backdrop, must be considered.

The suggested dark grey and brown roofs blend well with the mountain backdrop and vegetation whereas the palette of grey, beige to light brown wall colours will blend well within the landscape.

For the maximum exploitation of the dramatic surrounding panoramic views from within the Estate, building forms and roof scapes are fragmented to allow views and vistas through and over the building forms.

1.5 ARCHITECTURAL STYLE

Desirable Architectural Approach:

Combination of contemporary modern and traditional Cape architectural elements, proportions and scale.

Designs should adhere to the classical rules of proportion and scale and should compliment the rural setting, resulting in a pleasant and tranquil neighbourhood.

The Rozenmeer architectural language promotes and incorporates the following:

- External covered areas / patios.
- Simple pitched roofs i.e. a combination of double pitch and enclosed flat roofs.
- Dwellings should be rectilinear in shape and employ in general a vertical proportion.
- Fragmented, simple rectangular pitched roof blocks clipped together with flat roof "knuckles".
- Soft subdued earthy colours and tones.
 - The use of different textures and materials to create depth and contrasts.

1.6 BUILDING COST

Please note amount payable to Homeowners before start of new build, according to Homeowners rules & regulations.

2. BUILDING FORM

2.1 FOOTPRINT & LAYOUT

2.1.1 Zoning:

Residential Zone I, Residential Zone II, Residential Zone III, Open Space Zone II Special Zone I (private street) & split zoning of Residential Zone I and Business I.

2.1.2 Maximum building area:
As per Zoning Scheme.

Note: Definition of "Building Area"

X Described as the enclosed construction area measured to the external face of the outside walls.

X The calculation of the floor area includes all covered stoeps, veranda's and outbuildings.

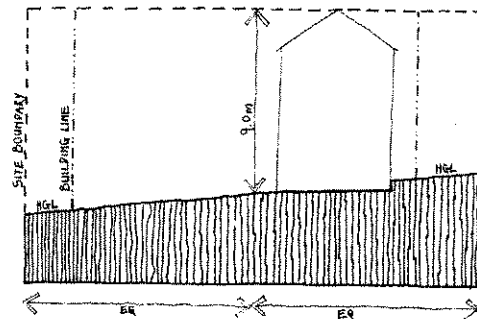
2.1.3 Building lines:

The building lines for each erf is described as a building platform and are predetermined for each site. This describes the area to which the building structure or any roofed component must be confined.

2.2 BUILDING HEIGHT AND PROPORTIONS

2.2.1 Maximum building height:

The maximum height of any dwelling is 9 000 mm measured from the natural ground level to the apex of the roof pitch.

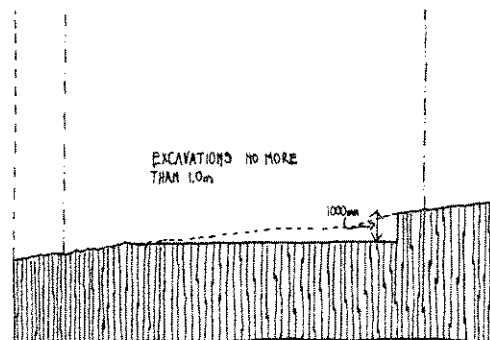


2.2.2 Second Storey:

The second storey can be 100% of the ground floor area, except where extensions are allowed (erfen 1-25), no second storey allowed on extension area facing street side.

2.2.3 Terrace:

Where the site is excavated or terraced this should be done in steps of no more than 1 000 mm in height.



3. BUILDING ELEMENTS & MATERIALS

3.1 ROOF

3.1.1 Roof type:

Saddle roof (primary roof)

Enclosed flat roof restricted to ground floor.

Hipped

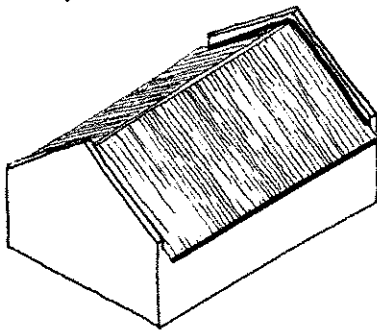
Gable walls not to protrude past roof finish / roof line

Exclusions:

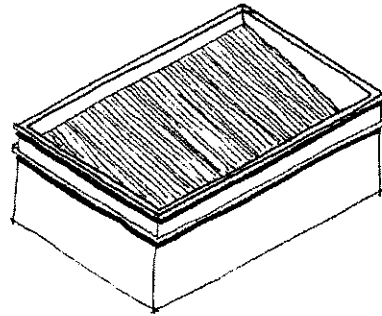
Mono-pitch

Dutch Hip

Butterfly



SADDLE ROOF



ENCLOSED FLAT ROOF

3.1.2 Material:

One of the following:

Single span pre-coated metal roof sheeting with concealed fixing ("Klip-lock" or similar approved), only when closed-off with a parapet wall.

S-profile pre-coated metal roof sheeting.

3.1.3 Colour:

Charcoal or Dark Grey

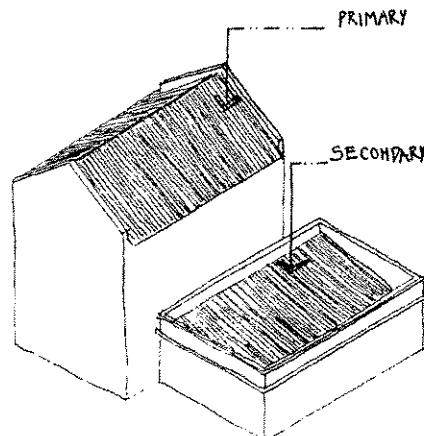
3.1.4 Pitch:

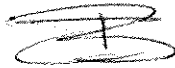
Main structure - double pitch roofs between 30 and 45 degrees.

Secondary or linking structures - flat roofs (also garages) obscure from view by use of continuous parapet walls (surrounding roof complete).

Protruding timber rafters to be varnished / stained dark.

Steelwork and steel rafters to be painted a dark colour (charcoal or dark grey).



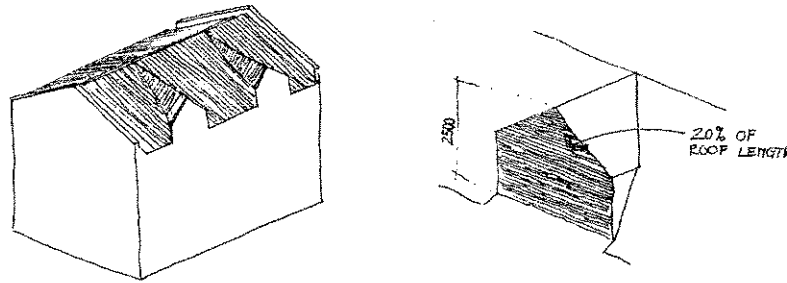

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- 3.1.5 **Roof overhang:**
Limited to a maximum of 350 mm.

- 3.1.6 **Gutters, rainwater & downpipes:**
Seamless pre-painted aluminium ogee gutters with rectangular or round downpipes mounted on walls or columns.

- 3.1.7 **Dormers, roof lights & skylights:**
To be designed as an integral part of the roof structure with vertical penetration using the same pitch as the main roof.
Width restricted to 2,500 mm and not exceed 20 % of the roof length.

Roof windows - mounted flush with roof material.



- 3.1.8 **Fascia & bargeboards:**
'Everite' plain fibre cement fascia, size 225 x 15mm, 150 x 15mm or similar, painted
Timber hardwood fascia, size planed all round 22 or 32 x 220mm painted.
Colour: secondary colours (see 3.2.2) or colour to match the roof sheeting.

3.2 **EXTERNAL MATERIALS & FINISHES**

3.2.1 **Dwelling walls:**

Walls must be plaster and painted to prescribed colours.
Plinths and detailing of approved (stipple) texture plaster or Fairfaced brick with bagged plaster finish may be used.
Semi-face bricks or exposed concrete blocks are not permitted.
Texture paints and / or pigmented plasters are encouraged, but should be limited to smaller portions of the dwelling, to give depth and contrasting textures.
Nuteclapboard panels are allowed, painted, colours to paint specification.

3.2.2 **External wall colours:**

External colours must reflect soft subdued natural earthy tones such as beige, sandstone and a varied palette of warm grey's. Bright contrasting colours will not be allowed.
Only the following ranges of colours to be used.

(Codes taken from Plascon Expressions Catalogue):

- *Main (primary) colours:*

E18-3 PICASSO
E16-3 MAYOR
E15-3 DUNDAS
E14-3 PAPYRUS
E13-3 PINTO


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- D13-3 CHAPS
- *Secondary or accent colours (dark):*
 - E16-4 NEUTRAL
 - E15-4 BURWELL
 - E14-4 MAYAN STONE
 - E13-4 TRENTON
- *Secondary colours (light):*
 - E16-2 PLASTER
 - E17-2 CORBUSIER
 - E15-2 LANDING
 - E13-2 PERMAFROST
 - E14-2 HUDSON

3.2.3 Plaster bands and details:

The use of plaster surrounds and detail should be employed to soften large wall surfaces.

3.2.4 Stone:

Stone allowed on 5% of external wall surfaces.

3.2.5 Gates:

Powder coated or epoxy painted galvanized steel or hardwood / timber or a combination of above.

Steel gates must be painted one of the colours prescribed for aluminium doors and windows.

3.2.6 Columns:

Plaster and painted (square or round).

Substantial Timber columns (not less than 150mm).

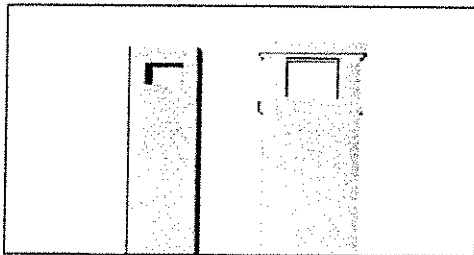
Steel, painted in dark colours (see 3.2.8).

3.2.7 Flues for fireplaces / braai's:

Simplified, contemporary interpretations of "Cape Vernacular" elements.

To be treated as feature elements

No exposed mildsteel or stainless steel flues allowed.



3.2.8 Windows & Doors:

Material:

- a. Natural or painted timber.

Timber windows and doors (excluding garage doors) shutters and ventilators may be varnished or alternatively painted in a darker colour to match the colours specified for aluminium windows and doors.

- b. Dark colour aluminium powder coated.

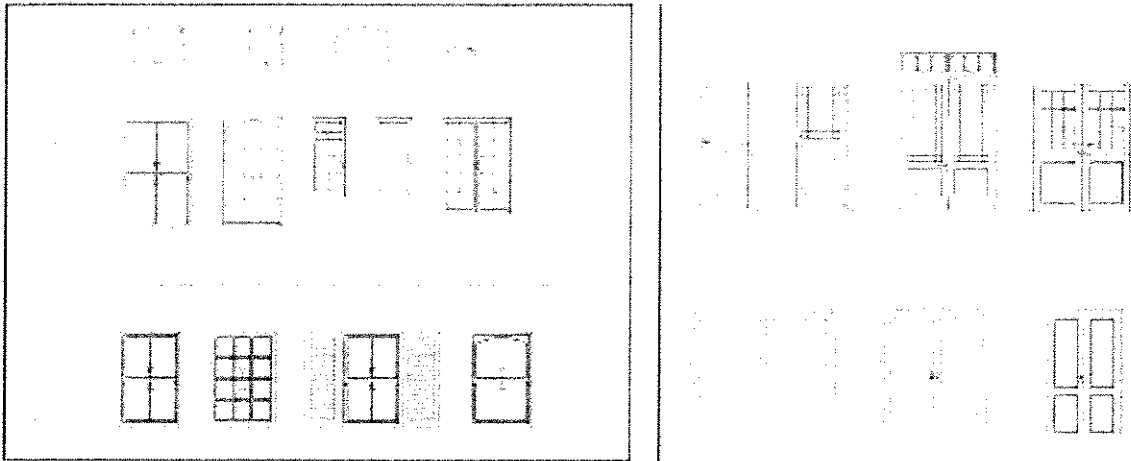
Aluminium door and window frames must be powder coated in one of the following colours:

Vedoc: Dark Umber grey - VP 7012
Charcoal - VP 7107

Matt Dark Umber grey - VP 7112
Dark Grey - VP 7004

Proportion:

All windows and doors must have a vertical proportion.



3.2.9 Burglar proofing:

- To form part of solid timber shutters designed as an integral part of the house. Any steel bars must be internally mounted in a simple orthogonal grid pattern and purpose made to suite window proportions and mullion positions.

Specific exclusions:

- a. External mounted "Trellidor" or similar security gates that are visible from the street.
- b. Burglar bars mounted externally.

General inclusions:

- a. External mounted security gates that are compatible with the design of the house (gates preferably fixed internally).
- b. Inconspicuous burglar bars fixed internally.

3.2.10 Garage doors:

- To be hardwood timber tip-up type or aluminium sectional overhead doors.
- Pattern: Horizontal or vertical lines.
- Colour: Similar to walls or windows.

3.3 **VERANDA'S, PERGOLAS, BALCONIES & BALUSTRADES**

Above elements must be designed and constructed of material in keeping with the main structure.

3.3.1 Veranda's + pergola's:

Verandas and pergolas should be designed to reduce the scale of facade walls and must be limited to the ground floor.

- The structure should be constructed from rectangular hardwood timber sections supported on brick, timber or steel columns.
- No shade cloth or temporary structures will be permitted.
- No Perspex (acrylic) or polycarbonate sheeting will be permitted.


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3.3.2 Balustrading (material):

- Hardwood timber dark varnish or painted.
- Square mild steel tubing or flats - painted.
- Plaster and painted brickwork.
- Stainless steel.
- No precast concrete, wrought iron, steel or other thin solid sheet paneling will be permitted.

3.3.3 Balconies:

Must be designed to form an integral part of the building.

3.4 BOUNDARY WALLS & SECURITY

Walls shall be of the same construction and finish as the main dwelling.

3.4.1 Street boundary:

A 1.25m high boundary "werf" wall may be built on the street boundary and 5 m inwards from street boundary on side boundaries as prescribed. Gates refer to 3.2.5.

3.4.2 Side boundary:

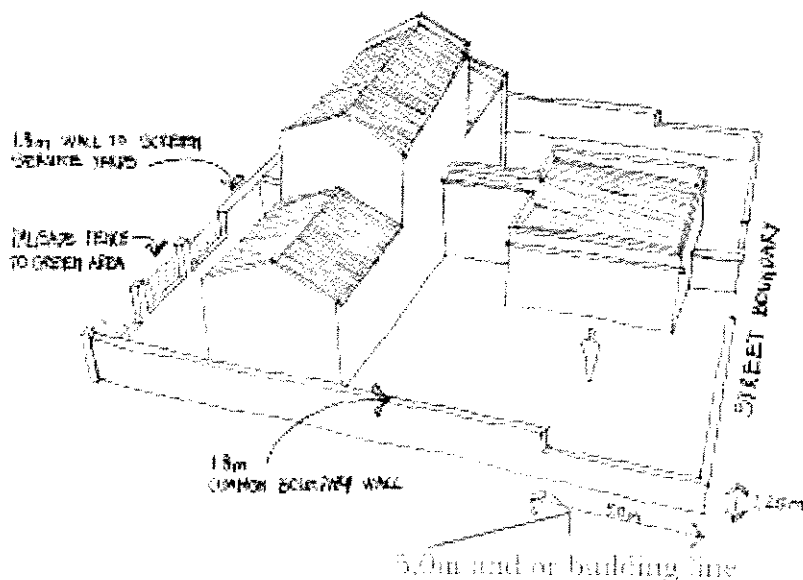
- Side boundary must preferably be enclosed with approved timber "horse-fence" hedges and planted barriers.
- A 1,8m high boundary wall measured from the natural ground level may be constructed along common side boundaries.
- No prefabricated walling systems, sheet material, wire mesh fencing or barbed wire is permitted.

3.4.3 Perimeter:

Palisade fencing & plasterd wall finish to approved design will be installed by Developer.

3.4.4 Privacy:

It is recommended that that outdoor living areas such as pool decks and terraces should as far as possible be positioned in such a way that the building shelters it. Additional walls and fences may be erected to secure privacy, provided that they comply with the above guidelines and meets the approval of the Architectural Assessors.



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3.5 SERVICES & MECHANICAL EQUIPMENT

TV antennae, satellite dishes, solar panels, extraction units, washing lines and pumping systems should not be positioned where visible from public areas and may not protrude above the roof line.

Architects to give full consideration to the positioning of the above equipment and where possible their position should be indicated on approval drawings. No exposed plumbing reticulation will be permitted.

3.6 EXTERNAL LIGHTING

External and internal lighting should be subtle and non intrusive.

Floodlights may only be installed for security purposes.

No decorative coloured lights are permitted.

Streetlighting should be downlit bollard lighting.

3.7 PARKING, GARAGES, CARPORTS / OUT BUILDINGS & DRYING YARDS

Parking for at least three cars must be provided on each erf of which at least one must be a visitors' parking bay.

Carports and garages should form an integral part of the design and construction of the main structures and must conform to the same guidelines.

No Temporary structures, tool sheds, wendy houses or shade cloth structures are permitted.

Service areas and kitchens are required to open on to a screened yard.

Drying yards must be screened with yard walls from neighbouring properties and the street view.

The maximum uninterrupted street frontage of garages to be 6 metres.

3.8 CARAVANS & BOATS

Caravans and boats must be stored out of sight.

Suitable garaging or screening with walls of sufficient height must be provided as for yards.

Drive through garages to allow tandem parking is encouraged.

3.9 HARD LANDSCAPING, PAVING AND DRIVE WAYS

Natural finishes in keeping with the rural atmosphere to blend with the natural textures and colors.

It is recommended that owners use a similar surface as for the common internal roads.

The following paving materials are preferred:

- Cobbles (charcoal or sandstone colour)
- Sandstone coloured exposed aggregate concrete pavers or similar
- Laterite
- Approved Brick pavers.

Specific exclusions:

- Chip and spray (asphalt)
- Premix
- Light grey concrete slabs or paving
- Mixed colour concrete pavers
- Gravel or stone chip

3.10 SOFT LANDSCAPING

Trees, shrubs and ground covers.

Specific exclusions:

- Restricted aliens and invasive species.

General inclusions:

- Indigenous plants.
- Accepted imports as specified by landscape architect.


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3.11 REFUSE BINS / GAS CYLINDERS / CLOTHES LINES / COMPOST PILES:

- Not to be stored in front of public façade line.
- To be kept in screened enclosure / yards so that not to be visible from the street or neighbouring dwellings.

3.12 SWIMMING POOLS

Specific exclusions:

- Portable pools and Structures more than 500mm above ground level.

3.13 STREET NUMBERS / HOUSE NUMBERS

- Size of lettering: 200 mm.
- All lettering to be spaced horizontally in line.
- Simple modern font type to be approved.
- Colour: Dark [see 3.2.9 (2)] or stainless steel.

Exclusions:

- Ceramic
- Italic lettering
- Free form lettering

4. ZONING

According to ARTICLE 8 of LAND USE PLANNING ORDINANCE SCHEME REGULATIONS as published in 'THE PROVINCE OF THE CAPE OF GOOD HOPE OFFICIAL GAZETTE NO. 4563' on 5 December 1988

4.1 RESIDENTIAL ZONE 1

Erven 1, 26-52 & 81-95

4.1.1 *Primary use:* dwelling-house

Consent use: additional dwelling unit.

4.1.2 *Land use restrictions:* Coverage at most 50%

Height: at most two storeys.

Street building line- at least 4m, subject to regulation 4.1.3

Side building line – at least 2m, subject to regulation 4.1.3

Exemption on erven 1-25, where side building lines is relaxed to 0m on only one side of the erf and 2m to the street building line.

On erven 27-50 the 5m street building line may be relaxed to 2m if the garage doors do not face the street.

Parking – at least one parking bay per land unit, on the land unit.

4.1.3 Notwithstanding regulation 4.1.2-

- (a) the street building line shall be at least 3m where the average depth of a land unit (measured at right angles to any street boundary of such land unit) does not exceed 20m;
- (b) an eaves projection may exceed the prescribed street or side building line by at most 1m, and
- (c) the council may approve the erection of an outbuilding or additional dwelling unit which exceeds a side buildingline, subject to –
 - compliance with the street building line;
 - such building not exceeding a height of one storey;
 - no doors or windows being permitted in any wall of such building which fronts onto the side boundary concerned, and
 - the provision of an access way, other than through a building and at least 1m wide, from a street to every vacant portion of the land unit concerned, other than a courtyard.

4.1.4 Additional dwelling unit


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Notwithstanding regulation 4.1.2, the following land use restrictions shall be applicable with regard to an additional dwelling unit over and above the other land use restrictions which apply, and shall prevail if the last-mentioned land use restrictions are in conflict therewith:

Coverage: together with all other buildings, at most 66%

Total floor space: at most 120m²

Parking: one additional parking bay on the land unit.

Height: at most one storey.

4.2 RESIDENTIAL ZONE 2

Erven 2-25, 53-58, & 61-80

4.2.1 Primary use: group house.

Consent uses: dwelling-house, retirement village

4.2.2 Land use restrictions

Density: as approved (plot & plan)

Communal open space: at least 80 m² per dwelling unit

Private outdoor space: at least 40% of the gross floor space of the unit concerned, in a form which shall not exceed a ratio of 2:1 (length to width).

Combined open space: where there is no distinction between communal open space and private outdoor space, the above communal open space and private outdoor space requirements shall be replaced by a combined open space requirement of at least 130 m² per dwelling unit.

Height: at most two storeys.

Street building line: zero, subject to regulation 4.2.4(b)

Side building line: zero, subject to regulation 4.2.4(c)

Parking: at least two parking bays per group house; both may be provided at such group house, or part of the required number of parking bays at some of the group houses and the remainder in the form of communal parking for the group housing scheme concerned, or the entire requirement in the form of communal parking.

Street width: normally at least 10m or 8m in a cul-de-sac or loop road of limited length which serves only a few group houses.

4.2.3 The objectives reflect in the definition of "group housing" shall be closely followed and implemented

4.2.4 Additional provisions

- (a) In addition to the private outdoor space or the combined open space, as the case may be, a service yard of an adequate area and screened by a wall from the view of anyone else than the occupant(s) of the dwelling unit concerned, shall be provided to the satisfaction of the council.
- (b) Despite the zero street building line, a street building line of 2m may be required to ensure safe traffic circulation or for other reasons such as development in the area, and a driveway shall have an adequate area to allow comfortably for the parking of a large motor car thereon.
- (c) Despite the zero side building line, adequate side building lines may be required for fire-fighting purposes, and a 3m side building line shall apply where a residential zone 2 abuts on another zone. (erven 60-61 & 92-93)
- (d) Garage and carports shall be excluded in the calculation of floor space for the purpose of determining the area of the private outdoor space.
- (e) No group housing site may have an area greater than 2ha, and no group housing site shall abut on another group housing site.

4.3 RESIDENTIAL ZONE 3

Erven 59 –60

4.3.1 *Primary use:* Town house

Consent uses: dwelling-house, group house, retirement village

4.3.2 Land use restrictions

Density: as laid down by the Council up to a maximum of 50 units per gross hectare.

Coverage: at most 50%

Height: at most two storeys.

Street building line: zero, subject to regulation 4.3.3(a)

Side building line: zero, subject to regulation 4.3.3(b)

Parking: at least two parking bays per town house; both may be provided at such town house, or part of the required number of parking bays at some of the town houses and the remainder in the form of communal parking for the town housing scheme concerned, or the entire requirement in the form of communal parking.

4.3.3 Additional building line requirements

(a) Despite the zero street building line, a street building line of 2m may be required to ensure safe traffic circulation or for other reasons such as development in the area, and a driveway shall have an adequate area to allow comfortably for the parking of a large motor car thereon.

(b) Despite the zero building line, adequate side building lines may be required for fire-fighting purposes, and a 3m side building line shall apply where a residential zone 3 abuts on another zone.

4.4 OPEN SPACES

Erven 96-99


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